

ADDENDUM NUMBER 3

Thursday, May 3, 2018

PROJECT:
FAIRHOPE LIBRARY ENVELOPE REPAIRS
FAIRHOPE, ALABAMA
GMC PROJECT NO. AMOB170026

AD3-1 GENERAL:

- A. The following revisions and/or additions to the Drawings and Project Manual are hereby made a part of same, and shall be incorporated in the Work of the Contract the same as if originally included in the Bid and Construction Documents.
- B. Bidders shall acknowledge receipt of the Addendum in writing, as provided on the Acknowledgment Receipt.
- C. When a revision and/or addition is called for to the Drawings or Project Manual, they shall be fully coordinated with and carried through all applicable Drawings and portions of the Project Manual.

AD3-2 CLARIFICATIONS:

- A. There are instructions for the west side drive up metal roof to remove ridge cap and z-clips to install some ice and water shield. What do you want us to do in the event we have to replace some pieces? Would you want just those pieces to be replaced or all of them so they will match?
Answer: Replace any damaged metal panels as required with the new panels to match the existing roofing.
- B. Given that the new roofing installation will, in all probability, void the existing manufacturer's NDL guarantee, will the installing contractor of the limited repaired areas and the new coating areas be held responsible under the terms of the contractor's warranty noted in the specifications for all parts of the assembly including "roofing membrane, composition flashing, roof insulation any vapor retarders and roofing accessories" and "wind-load rider" for items currently in place and not installed during the new work?
Answer: Remove Section 07563, 1.11, D. Does not apply.
- C. Since the scope calls for tying into existing shingle and metal roofing areas does the above contractor warranty and guarantee terms apply to those existing areas?
Answer: Remove Section 07563, 1.11, D. Does not apply.
- D. Please confirm that all 6 windows as noted to be removed on 3/D2.00 are to be replaced with new storefront windows. 3/A2.00 calls for only 4 of them to be replaced.
Answer: The (4) rectangular windows are to be removed and replaced with new storefront window systems. The (1) round window above the stairway is to be removed, stored, and reinstalled at a higher level. The remaining round windows can remain in place, but a continuous envelope water tight seal system will have to be repaired back to the window dry line. Repairing the water / air barrier envelope system will require the stucco around the window to be removed, felt pulled back,

and liquid flashing membrane fully adhered back to the existing water / air barrier system (Tyvek) to provide a continuous water tight seal for the building envelope.

- E. 3/A2.00 notes the windows to be replaced with a storefront system to which we would use specification sections 08410 (storefront) and 0800 (glass and glazing) as issued in Addendum 2. Please inform where section 08920 (curtainwall system), also issued in Addendum 2 is to be used.
Answer: If required, curtain wall section 08920 shall apply to window indicated on detail 2/A2.01 or add Alternate No. 1.
- F. Construction Note 8 on and similar call out note just above the note 8 designation on A1.00 seems to call for a vertical infill wall to be constructed from the steel structure to the underside of the porte cochere roof deck, however the details on A4.03 show only a horizontal partition to accomplish this purpose. In reviewing the space with Brooke, Lance and a couple other bidders in the second pre-bid meeting, it seems the horizontal partition as detailed on A4.03 alone would accomplish the purpose of preventing outside air flow from the porte cochere roof cavity to enter the building. Please advise if the vertical portion as noted on A1.00 can be deleted. The attached two pictures show the structural beam, cavity, and existing drywall partition that will create the vertical break once the new horizontal partition is constructed.
Answer: If the Horizontal partition can seal the interior of the building from outside air infiltration then the vertical partition can be omitted. If not it will be required.
- G. Metal Deck (100 SF) – Is this the total to be included for the project, as I do not see an area to quantify on the plans. Specification section 05310 mentions the atrium area.
Answer: Yes, included in the Base Bid. This is to cover any unforeseen damaged Metal Deck.
- H. Masonry Restoration and Cleaning (1,000 SF) – Is this primary included for repointing of brick? If so, is 1,000 SF the total for the project? It seems all of the brick is to be cleaned and a water repellent applied.
Answer: All masonry is to be cleared and water repellent applied in Base Bid. Provide 500 L.F. of Brick Repointing in the Base Bid. See Attachment "A" for additional quantities of Brick Repointing.
- I. New Gyp Board (200 S.F.) – Is this to be used primarily for water damaged ceilings as noted on the plans? If so, is 200 S.F. the total to be included for the project, as I do not see a way to accurately quantify what is damaged now or what may become damaged prior to completion of the roof and other waterproofing repairs. Also, can an additional interior ceiling painting quantity allowance be added to cover this same issue?
Answer: GC shall provide 200 S.F. of removal and replacement of Water Damaged Gypsum Board in the Base Bid. See Attachment "A" for additional quantities. G.C. shall provide 2,000 S.F. of interior painting in the Base Bid. Interior painting shall include walls ceiling, trim, etc.
- J. Acoustical Ceiling Tile (50 EA) – Same as above Gyp Board Ceiling question.
Answer: All water damaged acoustical ceiling tile shall be removed and replaced with like tiles GC shall determine quantities.
- K. Please add to the 09900 exterior paint schedule:
- a. Unpainted Stucco Walls: Elastomeric coating is noted on the plans. I suggest one coat of Sherwin Williams Loxon Acrylic Primer and Two coats of Sherwin Williams Conflex XL Textured Coating. The level of Texture (if any) can be determined in a mock up.
 - b. Unpainted Pre-Cast Parapet Cap: Elastomeric is noted on the plans. I suggest one coat of Sherwin Williams Loxon Acrylic Primer and two coats of Sherwin Williams Conflex Smooth Coating.

c. Unpainted Stucco Ceilings: I suggest one coat of Sherwin Williams Loxon Primer and one coat of Sherwin Williams A-100.

L. Please confirm all brick is to receive a water repellent coating as specified in 04500. Detail 7/A2.01 calls for a waterproof coating, and 09900 calls for masonry to receive 2 coats of acrylic paint.
Answer: All brick is to receive water repellent coating as specified in 04500. No brick is to be painted.

M. Contractor shall remove all efflorescence as part of Masonry Cleaning and Restoration.

AD3-3 Drawings:

A. Sheet D1.00; Roof "B". Remove existing stucco system on the south, east and west walls in its entirety. Provide and install new air and vapor barrier over existing exterior sheathing and new stucco system including lath, flashing and all accessories. See Attached ASD-01

B. Sheet A4.02 Detail 4/A4.02 and 5/A4.02 Contractor shall provide and install LastiSeal Brick and Masonry Sealer or equal on the roof side of the masonry. See attached cut sheet.

AD3-4 ATTACHMENTS:

- A. Addendum Acknowledgment Response
- B. Architectural Supplemental Drawing No. 01
- C. Section 0004a – Attachment A to the Proposal Form
- D. Additional Round Window Detail Drawings
- E. LastiSeal Brick & Masonry Sealer

END OF ADDENDUM

PREPARED BY

GMC

Goodwyn Mills Cawood
11 North Water Street
Suite 15250
Mobile, Alabama 36602
T 251.460.4006
F 251.460.4223





Goodwyn Mills Cawood
11 North Water Street
Suite 15250
Mobile, Alabama 36602
T 251.460.4006
F 251.460.4423

FASCIMILE TRANSMITTAL COVER SHEET

DATE: May 3, 2018
TO: Katie Fowler
FROM: Planholder
PROJECT: FAIRHOPE LIBRARY ENVELOPE REPAIRS
For FAIRHOPE, ALABAMA
GMC PROJECT NO. AMOB170026
RE: ADDENDUM NO.3 AND ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM NO. 3

ACKNOWLEDGEMENT OF RECEIPT:

PLEASE PRINT RECIPIENT'S NAME, FIRM, AND DATE RECEIVED.

THEN FAX BACK TO (251) 460-4423 or EMAIL Katie.Fowler@gmcnetwork.com
FOR OUR RECORDS AND TO ACKNOWLEDGE YOUR RECEIPT OF THIS ADDENDUM.

NAME (PLEASE PRINT)

FIRM (PLEASE PRINT)

DATE RECEIVED (PLEASE PRINT)

REMOVE AND REPLACE EXISTING ROOFING AND EDGE METAL AS REQUIRED TO INSTALL NEW AIR & VAPOR BARRIER AND EDGE FLASHING

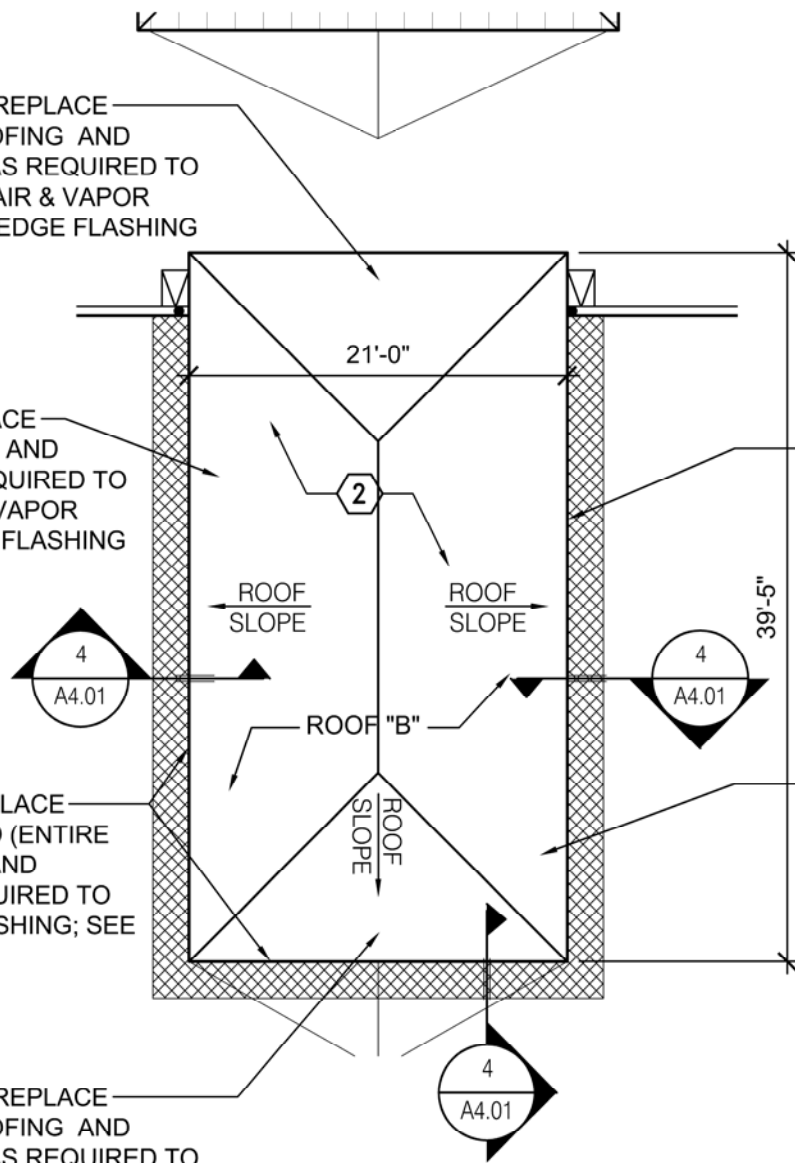
REMOVE AND REPLACE EXISTING ROOFING AND EDGE METAL AS REQUIRED TO INSTALL NEW AIR & VAPOR BARRIER AND EDGE FLASHING

REMOVE AND REPLACE EXISTING STUCCO (ENTIRE WALL SURFACE) AND ROOFING AS REQUIRED TO INSTALL NEW FLASHING; SEE DETAIL 4/A4.01

REMOVE AND REPLACE EXISTING STUCCO (ENTIRE WALL SURFACE) AND ROOFING AS REQUIRED TO INSTALL NEW FLASHING; SEE DETAIL 4/A4.01

REMOVE AND REPLACE EXISTING ROOFING AND EDGE METAL AS REQUIRED TO INSTALL NEW AIR & VAPOR BARRIER AND EDGE FLASHING

REMOVE AND REPLACE EXISTING ROOFING AND EDGE METAL AS REQUIRED TO INSTALL NEW AIR & VAPOR BARRIER AND EDGE FLASHING



1 **REPAIR ROOF PLAN**
A1.00 **SCALE: 3/32" = 1'-0"**



ATTACHMENT A
TO PROPOSAL FORM

1.1 UNIT PRICES:

- A. The following items of work are anticipated during the performance of this contract; however the exact quantity of each work item may not be determinable prior to bidding. The Contractor shall therefore, include in his Lump Sum Base Bid, a unit price allowance for the following items in the quantities indicated. These Allowance Unit Prices include all charges for labor and materials, shoring, fee, layout, supervision (field and home office), general expenses, taxes, insurance, overhead and profit, but not limited to, for the accomplishment of the Allowance item(s). Where quantities of same items of work are defined and are quantified in the bid documents, the allowance quantities indicated hereinafter shall be in addition to those that are indicated. (Example: If the site grading plan indicated new and existing grades, the bidder shall compute the quantity of earthwork required and include that quantity of work in the bid the same as if no "allowance" quantity were specified. If an additional allowance quantity of earthwork is stipulated that stipulated allowance quantity of work shall also be included in addition to the quantity computed from the bidders earthwork "takeoff")

The following Unit Prices Quoted are for increases or decreases in the above quantities included in the Lump Sum Base Bid. These Unit Prices include all charges for labor, material, and equipment, shoring, layout, supervision (field and home office), general expenses, taxes, insurance, overhead and profit, but not limited to for the accomplishment of the Allowance item(s).

Clarification Note: the Unit Prices quoted by the Contractor shall apply to increases (additive change orders) and to decreases (deductive change orders). This requirement shall supplement the requirements of the General Conditions and Instruction to Bidders. Changes in the Contract amount that are computed using the Stated Allowances and Unit Prices shall be figured at the same unit price whether additive or deductive.

- B. Refer to Section 01026 - "Unit Prices", and to the respective sections of the Specifications for the complete Unit Price Item description.
- C. Submit the following Unit Prices with the Proposal Form on Bid Date.

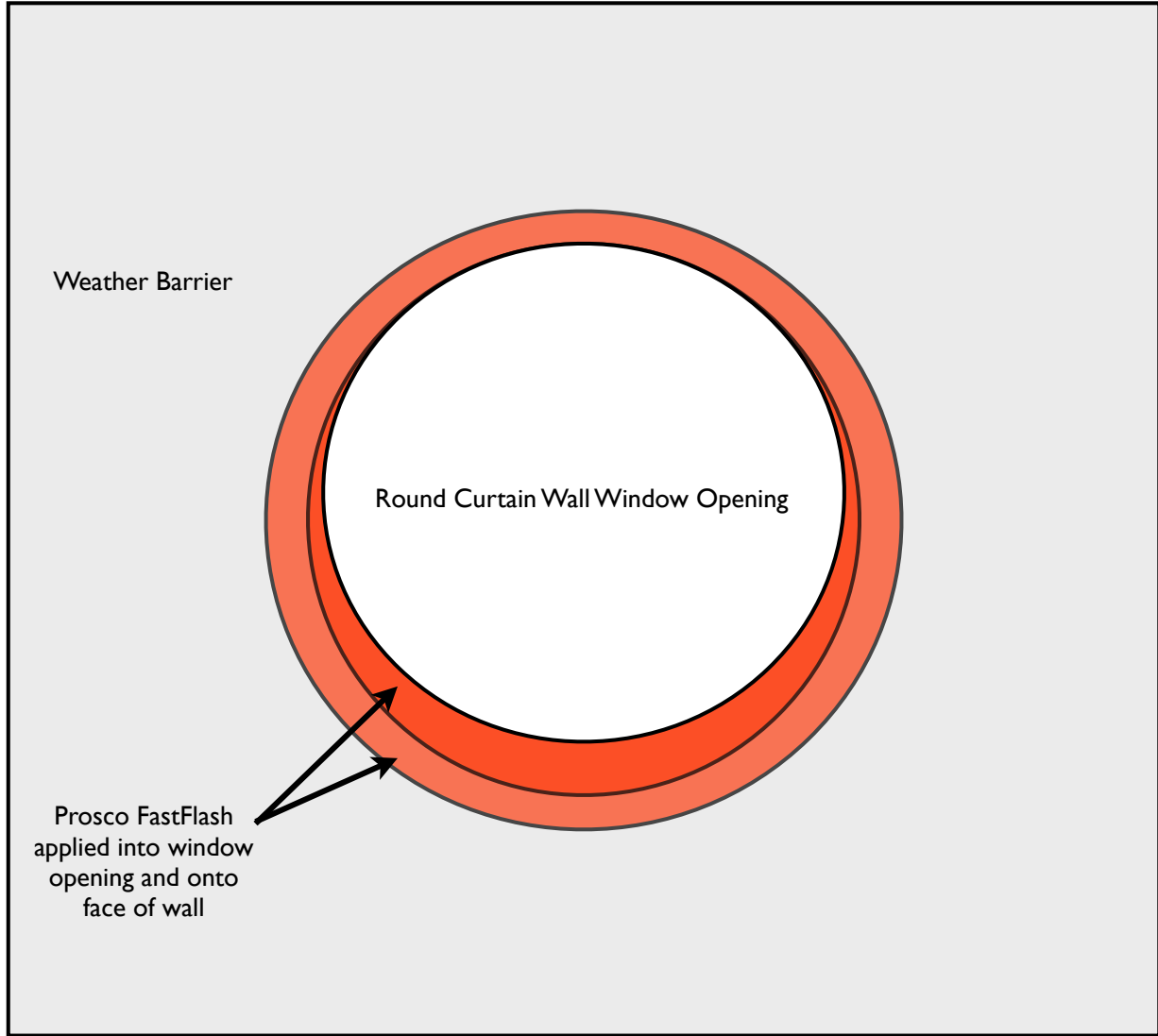
<u>ITEM</u>	<u>UNIT QTY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>UNIT QUOTED PRICE</u>
1. Replacement of wet cover board and insulation (to match existing thickness)	500	1 SF		
2. Replacement of metal deck	100	1 SF		
3. Replacement of pressure treated lumber	2"x6" 400	BF		
4. Portland Cement Stucco System	100	5 SF		
5. Brick Repointing	500	50 LF		
6. Exterior Sealant	200	1 SF		
7. Additional Fasteners	100	LF		
8. Labor Rate for T&M	32	HR		
9. New Gypsum Board	200	SF		
10. ACT Ceiling Tiles	50	2x2 Tile		
11. Interior painting (ceilings, walls, trim, etc.)	500	SF		
UNIT PRICE TOTAL:				\$

(*) Legend to "Unit" quantity abbreviations:

EA	Each
SF	Per Square Foot
LF	Per Linear Foot
HR	Per Hourly Rate
BF	Per Board Foot

Note: Failure to complete and submit this attachment with proposal shall be grounds for rejection of bid.

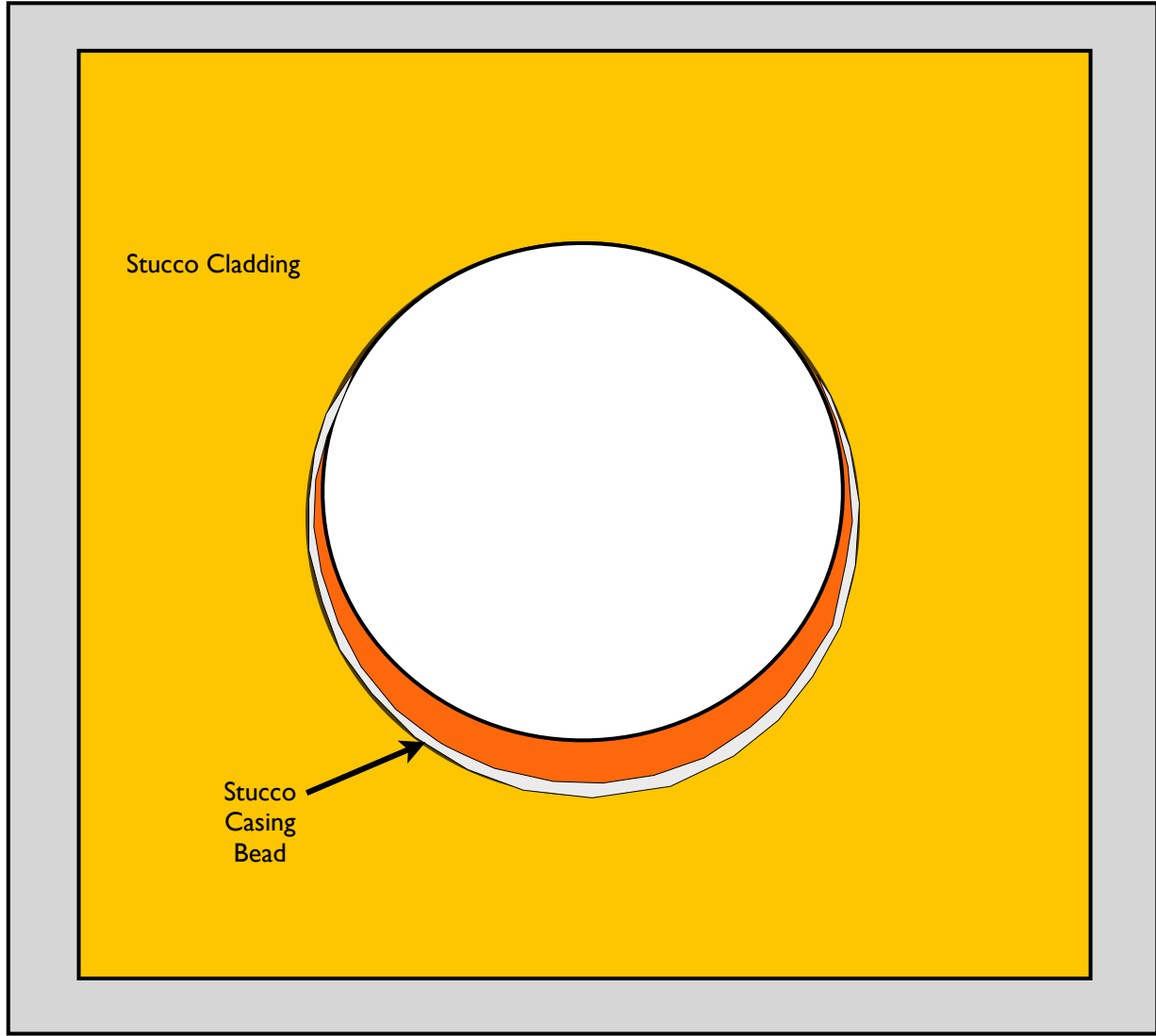
END OF ATTACHMENT A TO PROPOSAL FORM



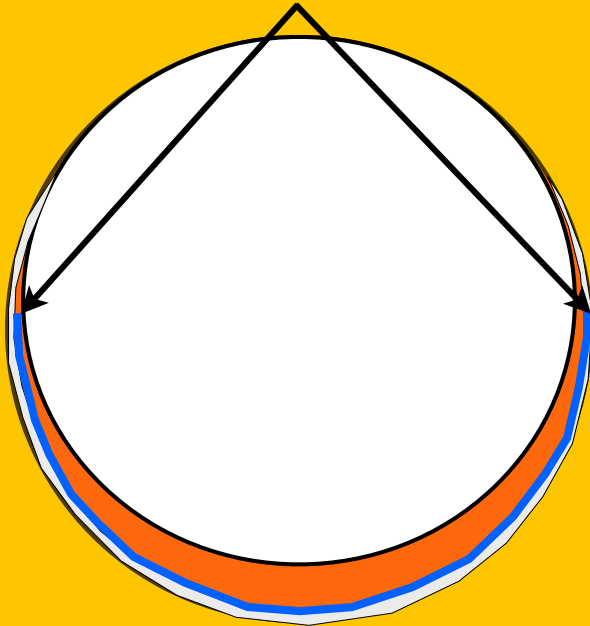
Weather Barrier

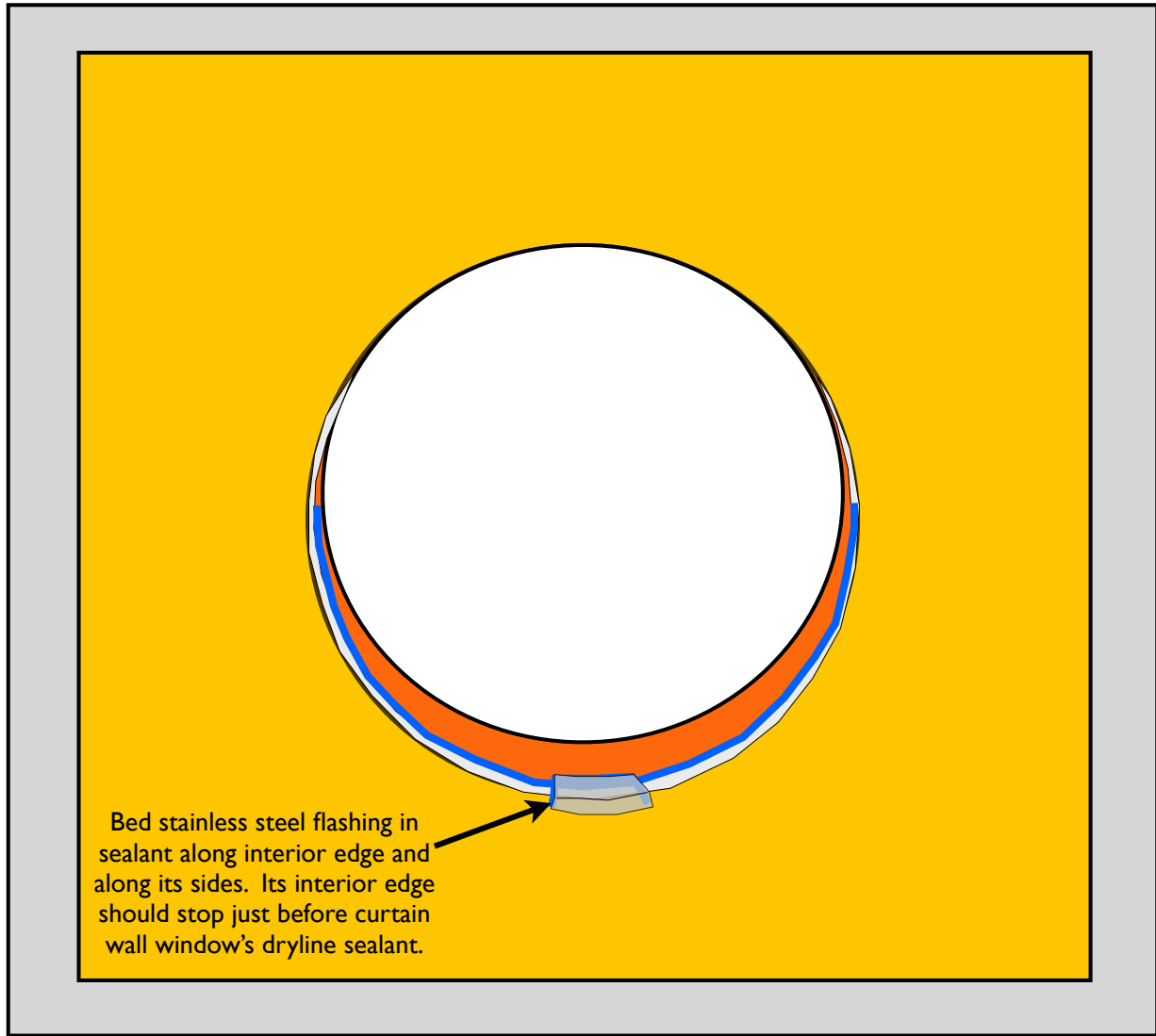
Round Curtain Wall Window Opening

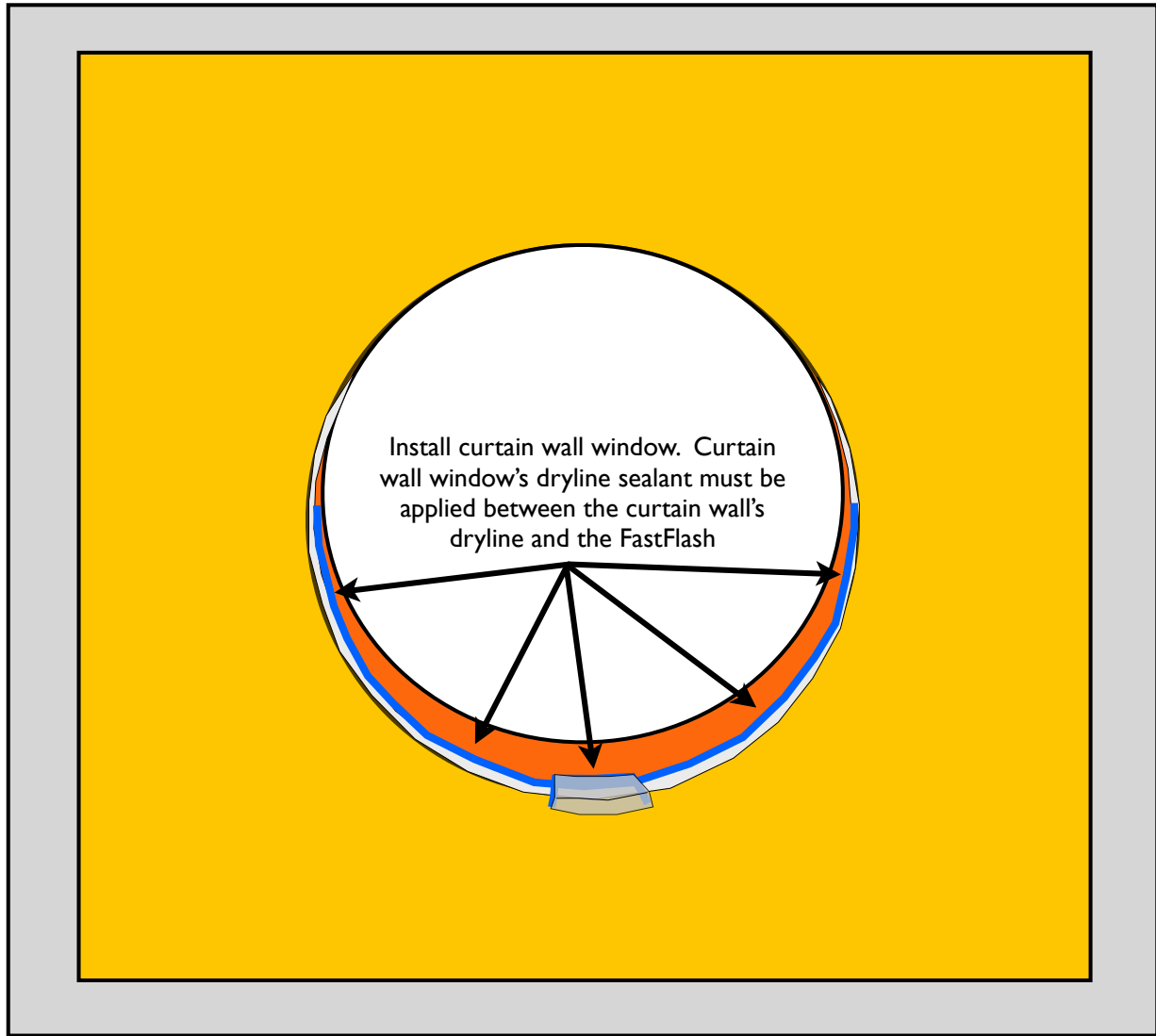
Proscos FastFlash
applied into window
opening and onto
face of wall

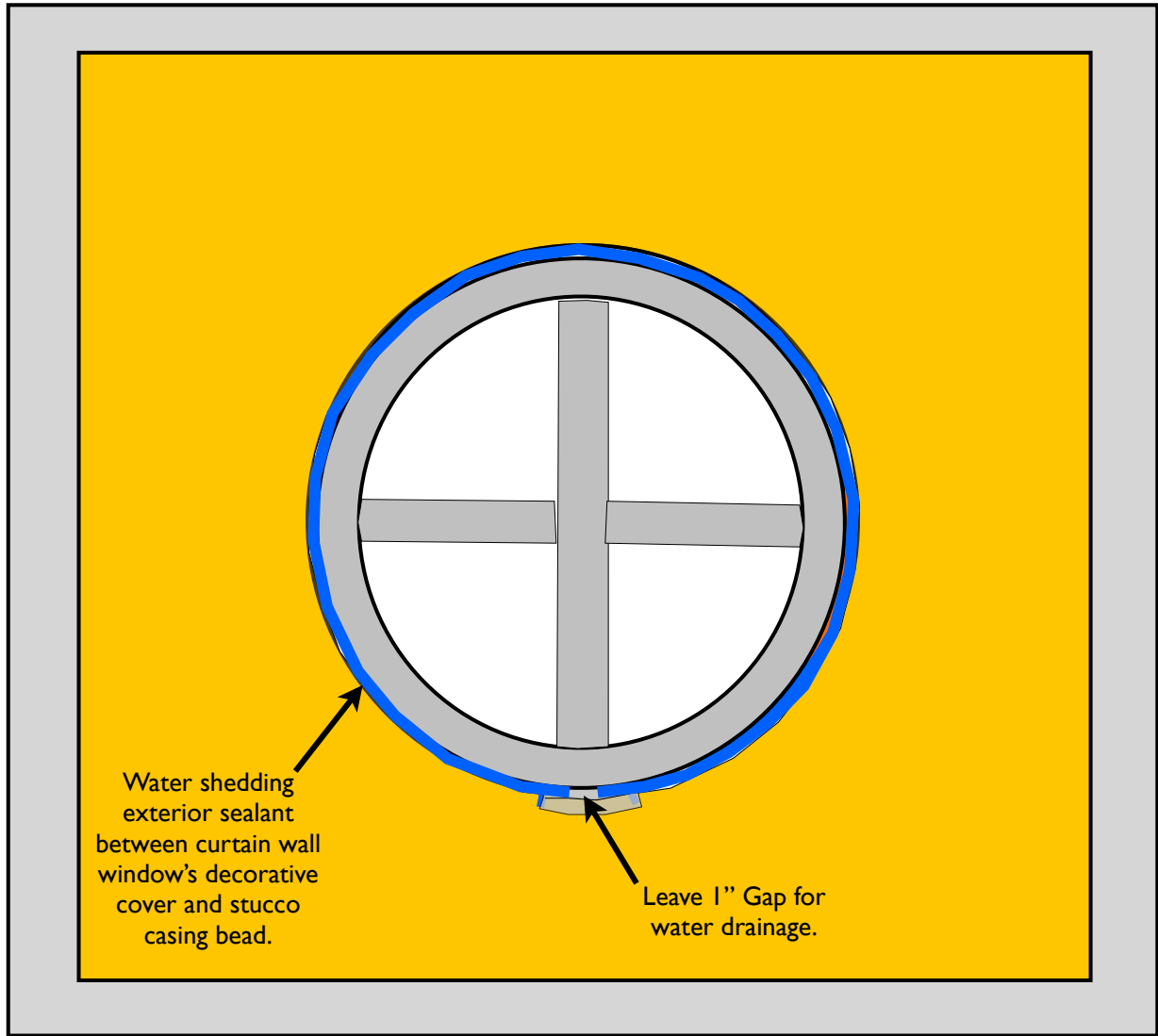


Seal between stucco casing
bead and FastFlash at lower
half of window opening









Water shedding exterior sealant between curtain wall window's decorative cover and stucco casing bead.

Leave 1" Gap for water drainage.

LastiSeal Brick & Masonry Sealer (Flat & Satin) APPLICATION INSTRUCTIONS

LastiSeal Brick & Masonry Sealer is a ready-to-use, deep-penetrating sealer, formulated to internally seal brick, stucco, stone, concrete, and other porous building materials.

LastiSeal penetrates deep into porous materials (2-4 inches) and cures as a hard plastic, permanently waterproofing the substrate against both negative and positive side water pressure. Use on new or old masonry, vertical or horizontal surfaces. Application is quick and easy. LastiSeal is non-flammable, contains no hazardous ingredients, and is safe to apply both indoors or out.

SURFACE PREPARATION

Allow new concrete to cure for at least 28 days.

Substrate must be completely **clean and bare**. Remove all paints, sealers, adhesives, curing or form release compounds. Clean off dirt, oil, grease, wax, efflorescence, and other contaminants that might interfere with penetration of the sealer.

Make sure that the substrate is **porous**. Confirm that it readily absorbs water or apply the sealer in a test area. If needed, increase the surface porosity by sanding, grinding, or acid etching.

The pH of cement based masonry must measure 5-9 - *Applies to LastiSeal Satin only*. If acid is used for pH adjustment, cleaning, or etching, neutralize and rinse thoroughly with water before application.

Protect plants, and non-masonry surfaces from, splash, residue, and wind drift. Divert foot and auto traffic.

SURFACE AND AIR TEMPERATURES

The substrate must be **dry** before application. Allow substrate to dry for at least 2 days after rain or pressure washing. Air and surface temperatures should be between 40 – 100 °F during application, and for 24 hours after application. Surface temperatures of 70 – 100 °F are optimal.

Do not apply to hot surfaces in direct sunlight or in a strong wind.

Avoid rain for 24 hours after application.

TOOLS

Low-pressure hand-pump or airless sprayer regulated below 30 psi equipped with fan-tip nozzle. When sprayer is not practical, a paint roller may be used.

APPLICATION

LastiSeal comes ready to use – do not dilute!

Thoroughly shake pail prior to opening.

Fill sprayer.

Apply LastiSeal liberally, forming a continuous, glistening film. Add more sealer to faster-absorbing areas. Allow the surface to absorb as much sealer as possible without puddling.

Do NOT over-apply. Broom or roll out puddles or excess rundown until the sealer penetrates.

For more porous surfaces, a second application may be necessary. The second application should be lighter, and applied 30-45 minutes after the first application, provided the first application has readily absorbed.

Vertical surfaces

Cover the floor adjacent to the wall, using a tarp or newspaper.

Spray LastiSeal on the walls from the bottom up to ensure even application. A controlled rundown of 3-5" is advised.

Do not over-apply. Spread out any runs or drips that do not penetrate with a roller.

When applying with a roller, maintain a wet edge.

**LastiSeal Brick & Masonry Sealer (Flat & Satin)
APPLICATION INSTRUCTIONS**

Horizontal Surfaces

Apply in a saturating, glistening film just on the verge of puddling. Roll or broom out any puddles.

When applying with a roller, maintain a wet edge.

LastiSeal is safe to walk on while applying.

DRYING & CURING

Treated surfaces should appear dry in 2-3 hours. Longer drying times are typical in cooler temperatures or in high humidity. Ventilating the area will accelerate drying and curing.

Treated surfaces are ready for light foot traffic in 3 hours. Avoid vehicle traffic for 3 days after application.

Full penetration/cure occurs in 5 -7 days.

RE-APPLICATION

The surface will continue to shed water and protect the substrate for years, whether or not it beads.

The sealer will adhere well to itself. LastiSeal can be re-applied to increase beading effect. or to restore water-shedding.

CLEANUP

Wipe off drips and overspray residue while still wet. Rinse sprayer and clean application equipment after use with warm soapy water. Removing dried sealer may require mechanical abrasion.

STORAGE

Store in a cool, dry place out of direct sunlight at temperatures between 40-90 °F. Protect from freezing. Should freezing occur, LastiSeal Flat should be allowed to thaw and be thoroughly mixed before use. LastiSeal Satin should not be allowed to freeze and should not be used if freezing occurs.

Read SDS and take appropriate safety precautions.